



WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT

ADDRESS: 1 BREWERS WAY MILWAUKEE, WI 53214 EMAIL: CONTACT@WIBASEBALLDISTRICT.COM PHONE: (414) 902-4040



ADDENDUM #1

Addendum #1 addresses the questions received.

MARCH 17, 2025



WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT

ADDRESS: 1 BREWERS WAY MILWAUKEE, WI 53214 EMAIL: CONTACT@WIBASEBALLDISTRICT.COM PHONE: (414) 902-4040



ADDENDUM NO. 01

Issue Date: 3/17/2025
Project Name: American Family Field – Restroom Alteration
Project Address: 1 Brewers Way
Milwaukee, WI 53214

Architect: Zimmerman Architectural Studios
2122 W. Mount Vernon Avenue
Milwaukee, WI 53233

Owner: Wisconsin Professional Baseball Park District
1 Brewers Way
Milwaukee, WI 53214

Project Administrator: Shannon Schwingle, The Sigma Group
1300 W. Canal St.
Milwaukee, WI 53233

Zimmerman Project Number: 250012.01

This Addendum forms a part of the Contract Documents and modifies the original Contract Documents dated 02/21/2025 as noted below. Acknowledge receipt of this Addendum by inserting the number and issue date of this Addendum in the blank space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of **4** pages and **3** of attached revised sheets and **2** of added specifications and **0** of revised specifications sections.



WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT

ADDRESS: 1 BREWERS WAY MILWAUKEE, WI 53214 EMAIL: CONTACT@WIBASEBALLDISTRICT.COM PHONE: (414) 902-4040



PROPOSED CHANGES / CLARIFICATIONS:

Clarifications/Bidder Questions:

Q: Will the existing masonry color be provided.

A: Yes. As follows.

1. Colored Split Faced Block: County Materials Corp., Adobe #18-070A. Obtain samples for approval.
2. Colored Smooth Faced Block: County Materials Corp., Coral Brown #18-571B. obtain samples for approval.

Q: Has the special-order masonry been scheduled for production.

A: No. All colored block is ordered per job with a 4 – 6 week delivery time.

Q: Is the existing wall covering available or is there enough attic stock.

A: Specifications are attached. It is not known if this item is still available.

Q: New piping will need to be dropped down from the overhead sprinkler system. This system is a dry system and will require an auxiliary drain. Should we locate these two (2) new drains inside or outside of the constructed room?

A: Drains shall be located outside the finished spaces. Piping shall not run down the new finish face or cmu. All vertical piping above the deck shall be placed as close to the back wall as possible.

Q: The plan listed ACT-1 in the Toilet room says to match existing.... What is the existing?

A: Match the existing adjacent toilet room ACT. Also see the included updated Sheet A300 and the keynotes and material schedule.

Q: Drawing M200 for the rest room renovation shows new heating hot water tie-ins to an existing main. This area was not made available to see during the walk-thru. Please confirm the following: At what height are the tie-in points above finished floor?

A: Existing horizontal heating hot water piping is at 18'-0" BOP per as-builts.

Q: Are these tie-in points located within a shaft? If so, what is the construction of this shaft and is it rated?

A: Tie-in points are not located within a shaft. Wall height is limited to just above ceiling level.

Q: If shaft exists, who is responsible for opening up this shaft and repairing it?

A: No shaft exists.

Q: It is assumed that the existing 2" HWS/R mains being tied into are copper. Please confirm.



WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT

ADDRESS: 1 BREWERS WAY MILWAUKEE, WI 53214 EMAIL: CONTACT@WIBASEBALLDISTRICT.COM PHONE: (414) 902-4040



A: We assume copper as well based on previous projects. ProPress is not permitted.

Q: Please indicate where these mains can be isolated and indicate how many feet of piping and associated pipe sizes will need to be drained for each line in order to make the tie-ins. It is assumed these mains are copper and therefore cannot be hot tapped.

A: Isolation valves are located below the area of work on the Service Level. Mains to be drained will affect Lobby VAV boxes. Approximately 350 lineal feet of piping to be drained (supply and return total). Mostly 3/4", ~40 feet of 1", ~50 feet of 1-1/4".

Q: Will the as built be provided?

A: As-built documents that are available have been provided.

Specifications:

SECTION: NONE

- None.

Drawings:

Architectural:

SHEET G000 – TITLE SHEET & INDEX

- ADD: Sheet E102 to the Index.

SHEET A300 - FIELD LEVEL AREA B REFLECTED CEILING PLAN - NEW

- REVISE: Reprinted the original sheet that did not print properly to show keynotes per sheet and keynotes on plan.

SHEET A1100 – ROOM FINISH & MATERIAL SCHEDULES

- Modify the material schedule to include the anticipated ACT-1. Contractor to field verify the match for approval.

Plumbing:

SHEET – None

Fire Protection:

SHEET - None



WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT

ADDRESS: 1 BREWERS WAY MILWAUKEE, WI 53214 EMAIL: CONTACT@WIBASEBALLDISTRICT.COM PHONE: (414) 902-4040



Mechanical:

SHEET – None

Electrical:

SHEET E101 – ELECTRICAL FIELD LEVEL AREA B FLOOR PLAN – NEW WORK

- Remove: New scope OF WORK from sheet, move new scope of work to new sheet E102.

SHEET E102 – ELECTRICAL FIELD LEVEL AREA B FLOOR PLAN – DEMOILTION WORK

- ADD: This new sheet to separate out all new work.
- MODIFY: Viewport to include location of electrical room for takeoffs.
- ADD: general note to include Fire Alarm contractor contact information.

End of Addendum 01

Wisconsin Professional Baseball Park District

AMERICAN FAMILY FIELD - Restroom Alteration - Corporate Office Lobby (Field Level)

1 BREWERS WAY
MILWAUKEE, WI 53214

Bid & Permit Documents
February 21, 2025



ARCHITECT:



Civil: NA

Structural: NA

Plumbing: GRUMMAN | BUTKUS ASSOCIATES
1011 N. Mayfair Rd.
Suite 300
Wauwatosa, WI 53226

Mechanical: GRUMMAN | BUTKUS ASSOCIATES
1011 N. Mayfair Rd.
Suite 300
Wauwatosa, WI 53226

Electrical: GRUMMAN | BUTKUS ASSOCIATES
1011 N. Mayfair Rd.
Suite 300
Wauwatosa, WI 53226

Communication: GRUMMAN | BUTKUS ASSOCIATES
1011 N. Mayfair Rd.
Suite 300
Wauwatosa, WI 53226

SHEET INDEX:

ARCHITECTURAL

G000	TITLE SHEET & INDEX
G001	TYPICAL MOUNTING HEIGHTS AND CLEARANCES
A200	FIELD LEVEL AREA B FLOOR PLANS - NEW & DEMOLITION
A300	FIELD LEVEL AREA B REFLECTED CEILING PLAN - NEW
A600	WALL SECTIONS, PARTITION TYPES
A900	INTERIOR ELEVATIONS
A1000	DOOR SCHEDULE, DOOR & FRAME TYPES, MISCELLANEOUS DETAILS
A1100	ROOM FINISH & MATERIAL SCHEDULES

PLUMBING

P001	PLUMBING SYMBOLS, GENERAL NOTES, AND ABBREVIATIONS
P002	PLUMBING SPECIFICATIONS
P200	PLUMBING SERVICE LEVEL AREA B FLOOR PLANS
P201	PLUMBING FIELD LEVEL AREA B FLOOR PLANS

FIRE PROTECTION

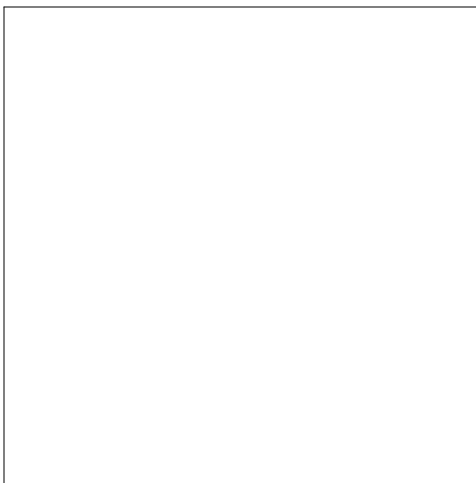
FP001	FIRE PROTECTION SPECIFICATIONS
FP200	FIRE PROTECTION FIELD LEVEL AREA B FLOOR PLANS

MECHANICAL

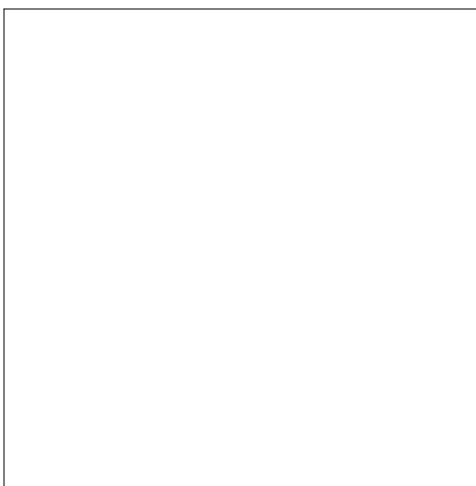
M001	MECHANICAL SYMBOLS, GENERAL NOTES, AND ABBREVIATIONS
M002	MECHANICAL SPECIFICATIONS
M200	MECHANICAL FIELD LEVEL AREA B FLOOR PLANS

ELECTRICAL

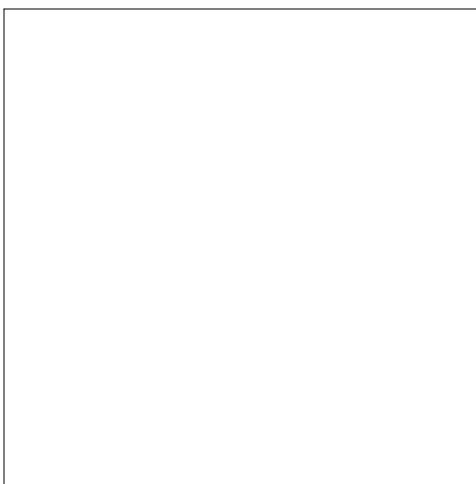
E001	ELECTRICAL SYMBOLS, GENERAL NOTES, AND ABBREVIATIONS
E002	ELECTRICAL SPECIFICATIONS
E101	ELECTRICAL FIELD LEVEL AREA B FLOOR PLANS
E102	ELECTRICAL FIELD LEVEL AREA B FLOOR PLAN - NEW WORK
E200	ELECTRICAL SCHEDULES



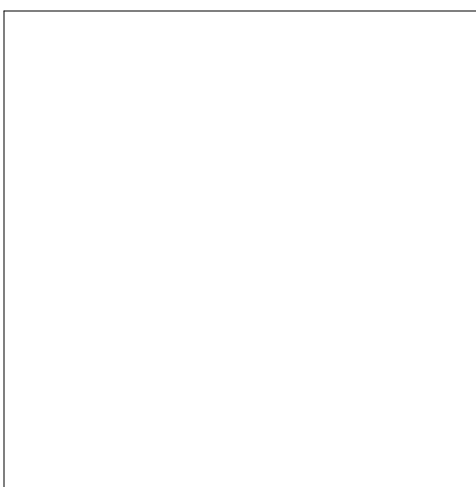
ARCHITECTURAL "A" SERIES



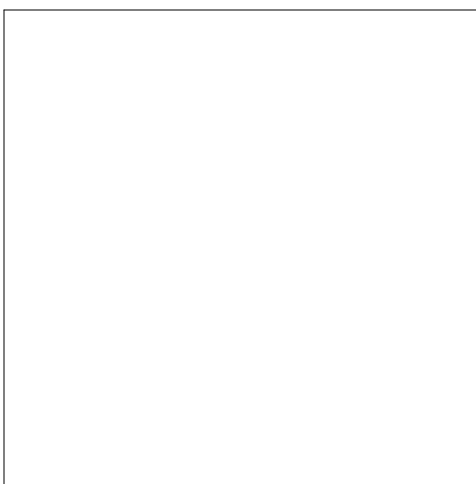
STRUCTURAL "S" SERIES



PLUMBING "P" SERIES



MECHANICAL "M" SERIES



ELECTRICAL "E" SERIES

Project:

AMERICAN FAMILY FIELD -
Restroom Alteration -
Corporate Office Lobby (Field
Level)

Revisions:

No.	Date:	Description:
1	2025-03-14	Addendum 01

Date:

February 21, 2025

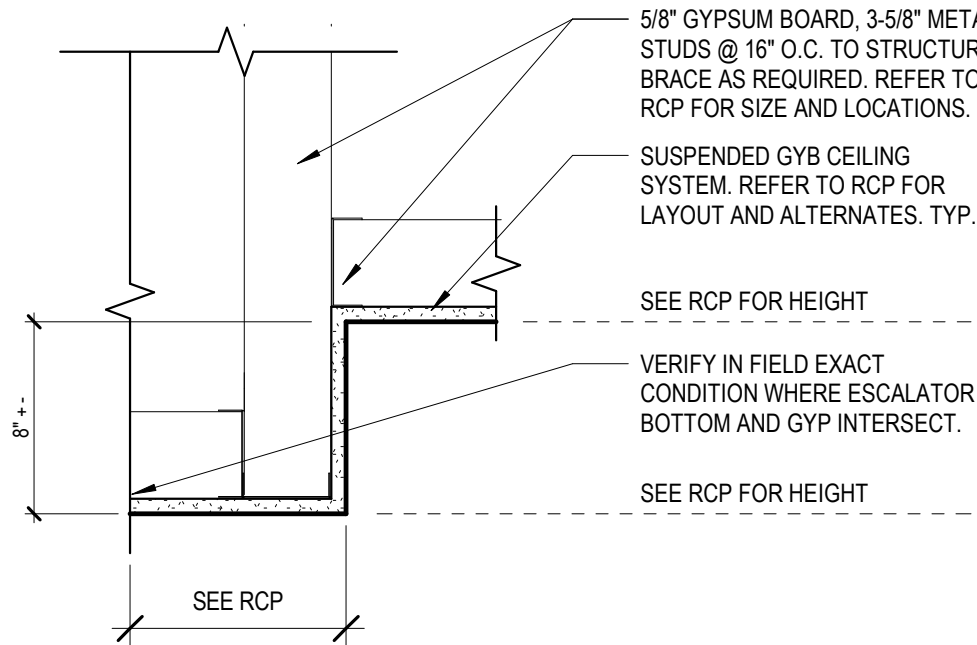
Project No.:

250012.01

(Owner) Project No.:

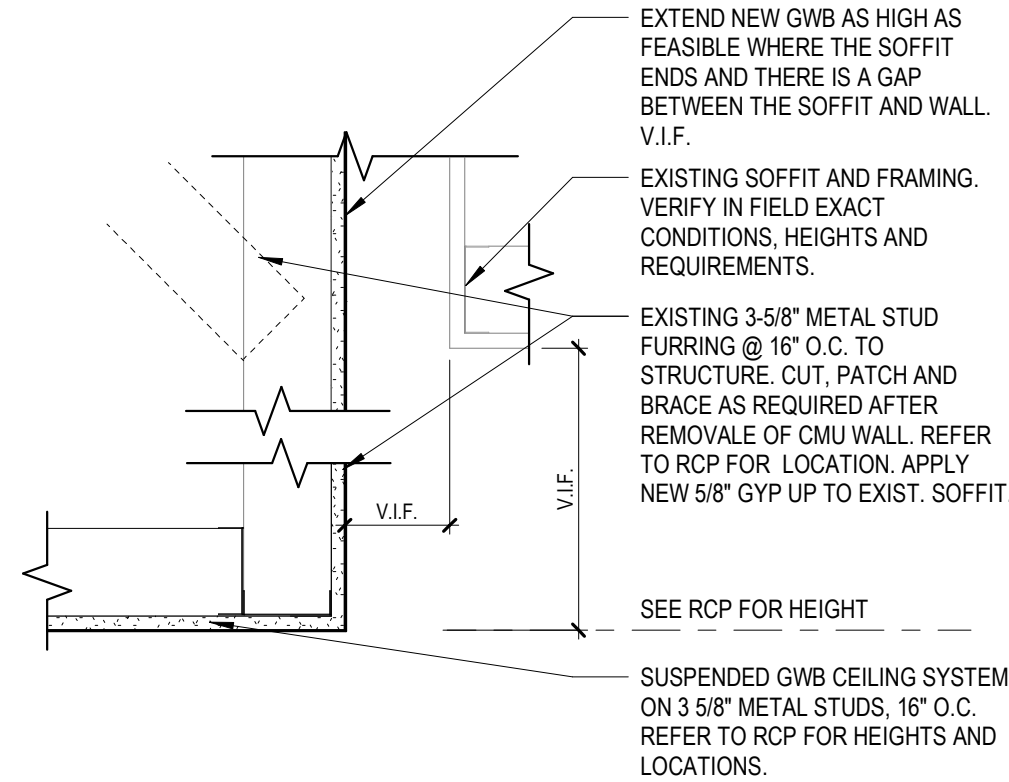
Sheet No.:

G000



4 GYPSUM BOARD SOFFIT

1 1/2" = 1'-0"



10 CEILING TRANSITION @ GYPSUM BOARD

1 1/2" = 1'-0"

REFLECTED CEILING PLAN GENERAL NOTES:

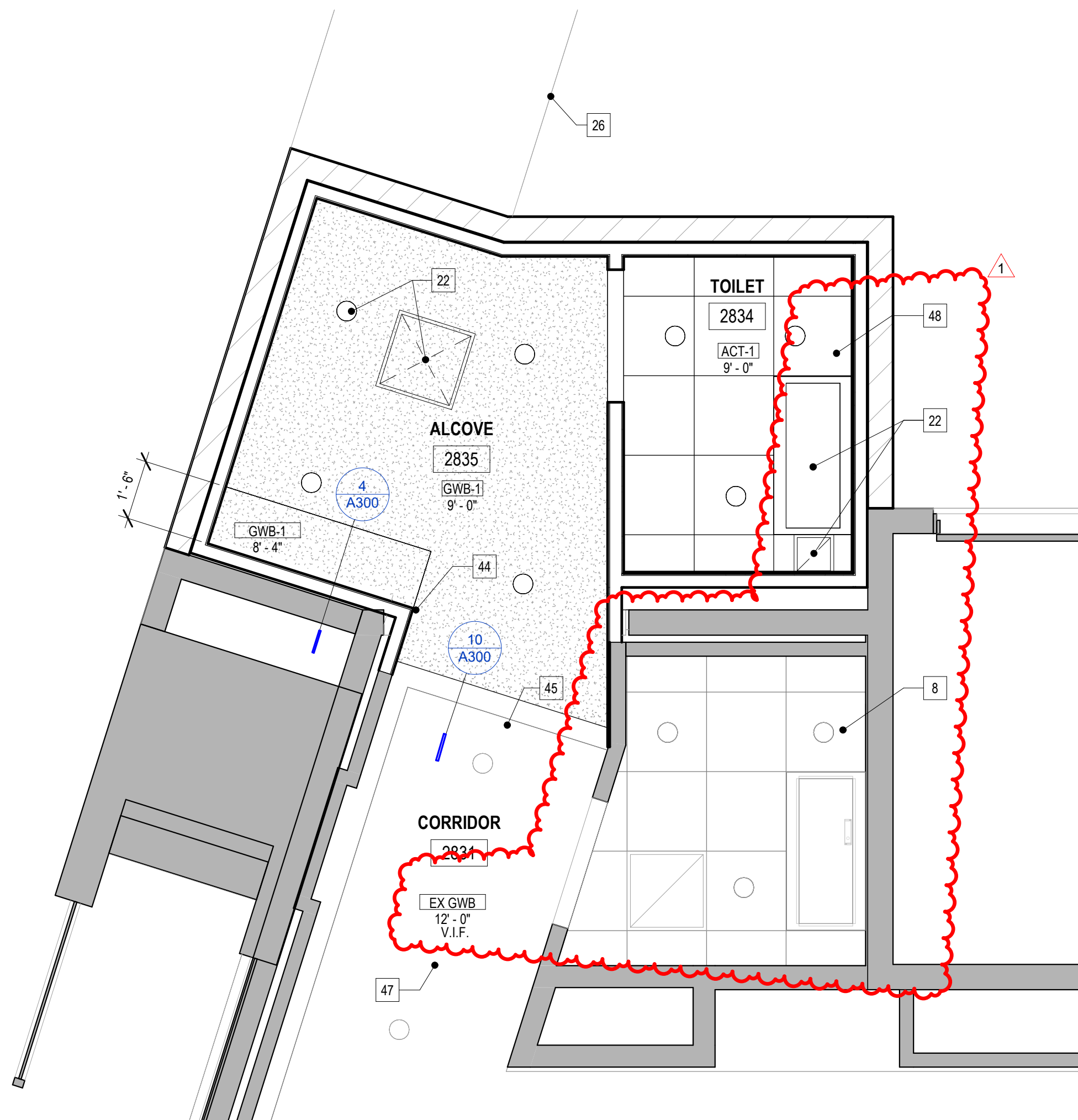
1. FIELD VERIFY THE EXACT MOUNTING HEIGHT AND LOCATION OF NEW LIGHT FIXTURES. AVOID CONFLICT WITH EXISTING MECHANICAL EQUIPMENT, DUCTWORK, PIPES, STRUCTURAL MEMBERS, STORAGE UNITS, ETC. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS OF OTHER TRADES. THIS CONTRACTOR SHALL COORDINATE THE INSTALLATION AND SCHEDULING OF HIS WORK WITH OTHER TRADES TO AVOID INTERFERENCE AND CONFLICT WITH THEIR RESPECTIVE INSTALLATIONS.
3. ELECTRICAL CONTRACTOR SHALL TURN OVER TO THE OWNER ALL REMOVED LIGHT FIXTURES. IF THE OWNER DOES NOT WANT POSSESSION OF THE SALVAGED LIGHT FIXTURES THE ELECTRICAL CONTRACTOR SHALL LEGALLY DISPOSE OF THEM, INCLUDING LAMPS.
4. ELECTRICAL CONTRACTOR SHALL REUSE EXISTING LIGHTING CIRCUITS WITHIN THE CONSTRUCTION LIMITS. ANY ADDITIONAL CIRCUITS REQUIRED SHALL BE PROVIDED FROM THE NEAREST DISTRIBUTION PANEL. PROVIDE ADDITIONAL CIRCUIT BREAKERS IF REQUIRED.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE EGRESS LIGHTING AS REQUIRED BY THE CURRENT ELECTRICAL CODE. VERIFY WITH OWNER/ARCHITECT IF BATTERY PACK UNITS SHALL BE UTILIZED. PROVIDE A POINT-BY-POINT COMPUTER GENERATED PHOTOMETRIC CALCULATION PLAN DEMONSTRATING COMPLIANCE WITH THE MINIMUM FOOT CANDLE REQUIREMENTS OF THE CURRENT ELECTRICAL CODE. PLAN AND CALCULATIONS MUST BE STAMPED BY A WISCONSIN LICENSED P.E.
6. ELECTRICAL CONTRACTOR SHALL PROVIDE EXIT SIGNS AS REQUIRED BY THE CURRENT ELECTRICAL CODE. NEW EXIT SIGNS SHALL MATCH THE EXISTING EXIT SIGNS.
7. ALL LIGHT FIXTURES MOUNTED WITH 15'-0" OF WINDOWS SHALL BE SWITCHED SEPARATELY FROM THE BALANCE OF ROOM LIGHTS IN COMPLIANCE WITH THE CURRENT ENERGY CODE.
8. ANY REQUIRED CEILING ACCESS PANEL IN GYPSUM BOARD OR WOOD SLAT CEILINGS SHALL BE COORDINATED WITH THE ARCHITECT FOR LOCATION AND FINISH.
9. SPRINKLER HEAD COVERS ARE TO BE PAINTED TO MATCH THE FINISH OF THE CEILING THEY ARE INSTALLED ON.
10. ALL FINISHES ARE TO BE VERIFIED BY THE ARCHITECT PRIOR TO ORDERING.
11. SPRINKLER HEADS REQUIRED TO MOVE FOR NEW CEILING/GRID LAYOUT SHALL BE FITTED WITH FLEXIBLE CONNECTIONS TO CENTER SPRINKLER HEAD IN TILE.
12. WHERE ANY CEILING MOUNTED ITEM HAS BEEN REMOVED OR ALTERED WITH A NEW OR SIMILAR ITEM THAT DOES NOT MATCH OR COVER THE EXISTING HOLE, PATCH AROUND THE NEW ITEM TO MATCH THE EXISTING CEILING AS REQUIRED.

PROJECT KEYNOTES

#	DESCRIPTION
8	EXISTING CONSTRUCTION TO REMAIN. VERIFY IN FIELD THE EXACT CONDITIONS, MATERIALS, HEIGHTS AND REQUIREMENTS.
22	REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR LIGHTS AND GRILLE LOCATIONS AND SELECTIONS.
26	INDICATES UNDERSIDE OF ESCALATOR CLOSER TRIM. VERIFY IN FIELD EXACT CONDITIONS, LOCATIONS AND REQUIREMENTS FOR NEW CONDITIONS.
44	ALIGN EDGE OF NEW SOFFIT WITH FACE OF NEW WALL.
45	NEW CEILING EDGE TO START AT SAME DISTANCE FROM EXISTING SOFFIT AS EXISTING OPEN SIDE WALL. VERIFY IN FIELD THE EXACT LOCATION, CONDITIONS AND REQUIREMENTS. PROVIDE A NEW FINISHED GYPSUM BOARD BULKHEAD FROM CEILING EDGE UP TO FLOOR DECK ABOVE.
47	REPLACE PORTIONS OF EXISTING SOFFIT AS REQUIRED THAT HAVE BEEN REMOVED AS NEEDED TO ACCESS AND INSTALL NEW DUCTWORK. VERIFY IN FIELD THE EXTENTS, AREAS AND REQUIREMENTS NEEDED. ALSO REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
48	MATCH THE EXISTING ACT AND GRID SYSTEM IN THE ADJACENT TOILET ROOM.

REFLECTED CEILING PLAN LEGEND:

- EXISTING - 2' x 4' LAY-IN LIGHT FIXTURE
- EXISTING - 2' x 2' LAY-IN LIGHT FIXTURE
- EXISTING - RECESSED CAN LIGHT
- EXISTING - RECESSED STRIP DOWNLIGHT
- EXISTING - PENDANT STRIP LIGHT
- EXISTING - RETURN OR EXHAUST GRILLE
- EXISTING - SUPPLY DIFFUSER
- EXISTING - 2' x 2' ACOUSTICAL CEILING TILE
- EXISTING - 2' x 4' ACOUSTICAL CEILING TILE
- DEMOLISHED LIGHT FIXTURES
- DEMOLISHED 2' x 2' ACOUSTICAL CEILING TILE SYSTEM
- DEMOLISHED 2' x 4' ACOUSTICAL CEILING TILE SYSTEM
- NEW - 2' x 4' LAY-IN LIGHT FIXTURE
- NEW - 2' x 2' LAY-IN LIGHT FIXTURE
- NEW - RECESSED CAN LIGHT
- NEW - RECESSED STRIP DOWNLIGHT
- NEW - PENDANT STRIP LIGHT
- NEW - RETURN OR EXHAUST GRILLE
- NEW - SUPPLY DIFFUSER
- NEW - 2' x 2' ACOUSTICAL CEILING TILE
- NEW - 2' x 4' ACOUSTICAL CEILING TILE



1 FIELD LEVEL AREA B REFLECTED CEILING PLAN - NEW

3/8" = 1'-0"

Consultant:



Project:

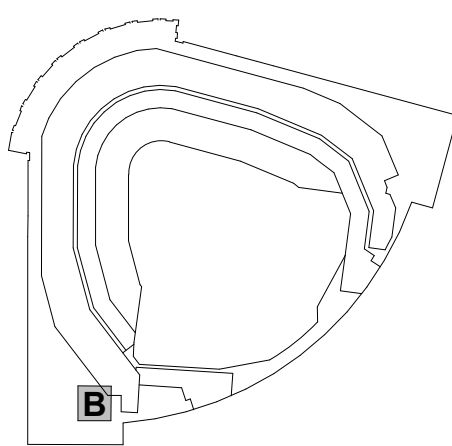
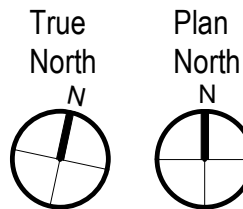
AMERICAN FAMILY FIELD -
Restroom Alteration -
Corporate Office Lobby (Field
Level)



Location:

1 BREWERS WAY
MILWAUKEE, WI 53214

Key Plan:



Bid & Permit Documents

Sheet:

FIELD LEVEL AREA B
REFLECTED CEILING PLAN -
NEW

Scale:

As indicated

Revisions:

No.	Date:	Description:
1	2025-03-14	Addendum 01

Date:

February 21, 2025

Project No.:

250012.01

(Owner) Project No.:

Sheet No.:

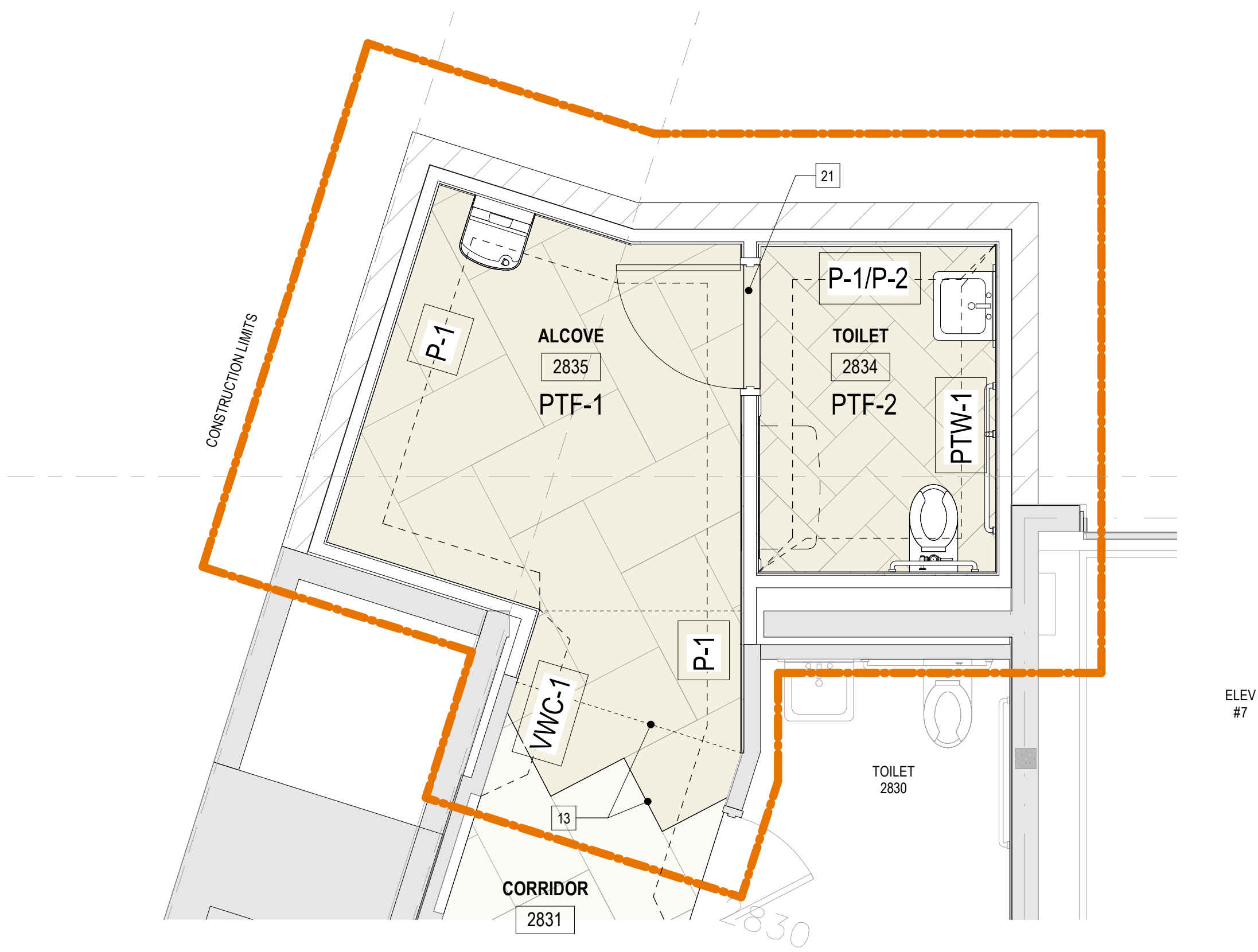
A300

MATERIALS AND COLORS SCHEDULE						
CODE	MATERIAL	MANUFACTURER	DESCRIPTION	NUMBER/COLOR	SIZE	REMARKS
ACT-1	Acoustical Ceiling Tile	Armstrong	Acoustical Ceiling Tile	Optima. White Regular with 15/16" Grid.	24" x 24"	Match The Existing Adjacent Toilet Room. The Anticipated Tile is Optima Regular.
Gypsum Wall Board						
GWB-1	Gypsum Wall Board		Gypsum Board Ceiling			5/8" Gypsum Board on 3 5/8" Metal Framing 16" o.c.
Paint						
P-1	Paint	Sherwin Williams	Enamel Wall Paint; Finish: Eggshell	Progreen Color: 7011 Natural Choice		Gloss Level 4. Match Existing. Base Wall Paint
P-2	Paint	Sherwin Williams	Enamel Wall Paint; Finish: Eggshell	Progreen Color: 6244 Naval		Gloss Level 4. Match Existing. Blue Wall Paint
P-3	Paint	Sherwin Williams	Enamel Wall Paint; Finish: Eggshell	Progreen Color: Match Exist Yellow Wall Color		Gloss Level 4. Match Existing. Yellow Wall Paint
P-4	Paint	Sherwin Williams	Enamel Metal Trim Paint; Finish: Satin	Progreen Color: Match Exist Door Frame Color		Gloss Level 5. For use on HM Door Frames.
P-5	Paint	Sherwin Williams	Enamel Ceiling Paint; Finish: Flat	Progreen Color: 7006 Extra White		Gloss Level 3. Match Existing. Soffit/Ceiling Paint
Porcelain Tile Base						
PTB-1	Porcelain Tile Base	Ergon	Ceramic Tile Wall Base	Stone Project: Falds Naturale, 63678R Grey	6" x 24"	Cut to Size From 12" x 24" Tile. Match Existing. Cap Tile Base with TS-1.
PTB-2	Porcelain Tile Base	Ergon	Ceramic Tile Wall Base	Stone Project: Falds Naturale, 63678R Grey	4" x 24"	Cut to Size From 12" x 24" Tile. Match Existing. Cap Tile Base with TS-1.
Porcelain Tile Flooring						
PTF-1	Porcelain Tile Flooring	Ergon	Porcelain Floor Tile	Stone Project: Falds Naturale, 63678R Grey	24" x 48"	See Finish Plan for Pattern. Match Existing.
PTF-2	Porcelain Tile Flooring	Ergon	Porcelain Floor Tile	Stone Project: Falds Naturale, 63678R Grey	12" x 24"	See Finish Plan for Pattern. Match Existing.
Porcelain Tile Wall						
PTW-1	Porcelain Tile Wall	Ergon	Porcelain Wall Tile	Stone Project: Mesaico Tessera, 130678 Grey	12" x 2"	12" x 16" sheets. Match Existing.
Tile Grout						
GRT-1	Tile Grout	Custom Building Products	Tile Grout	Natural Grey #09		Use At All Porcelain Tile To Match Existing
Transition Strip						
TS-1	Transition Strip	Schluter	Aluminum Tile Cap	Brushed Aluminum		Fit to Top Of Tile Base. Miter All Corners.
Vinyl Wall Covering						
VWC-1	Vinyl Wall Covering	Match Existing	Circular Pattern Vinyl Wall Covering	Yellow		Match the existing circular pattern yellow vinyl wall covering. If no longer available paint wall to match yellow Vinyl Wall Covering.
Wood Door Finish						
WDO-1	Wood Door Finish		Wood Door Stain and Finish	Match Existing Adjacent Door.		Verify in Field To Match Toilet 2830 Door

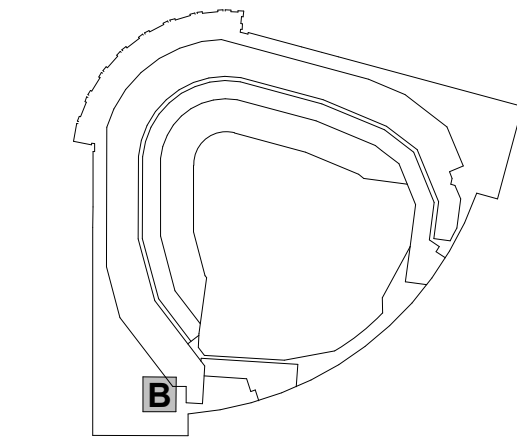
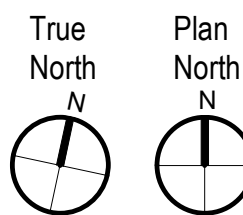
ROOM FINISH SCHEDULE - FIELD LEVEL											
NUMBER	ROOM	FLOOR		WALLS				MILLWORK			COMMENTS
		NAME	FINISH	BASE	NORTH	EAST	SOUTH	WEST	CEILING	CABINETS	
2831	CORRIDOR (EXIST)	PTF-1/EXIST	PTB-1/EXIST	--		P-1	--	VWC-1 (P-3)	GWB-1/OPEN	--	1, 3, 5
2834	TOILET	PTF-2	PTW-1/PTB-2	P-1/P-2	PTW-1	PTW-1	P-1/P-2	ACT-1	--	--	2
2835	ALCOVE	PTF-1	PTB-1	P-1	P-1	P-3	P-1	GWB-1	--	--	1, 2, 5

- GENERAL ROOM FINISH NOTES:
- FIELD VERIFY ALL EXISTING CONDITION, MATERIALS AND LOCATIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
 - REFER TO THE FINISH PLANS AND ELEVATIONS FOR POSITIONING, LOCATIONS AND PATTERN OF FINISHES.
 - ROOM FINISH SCHEDULE COMPLETED PER PLAN NORTH

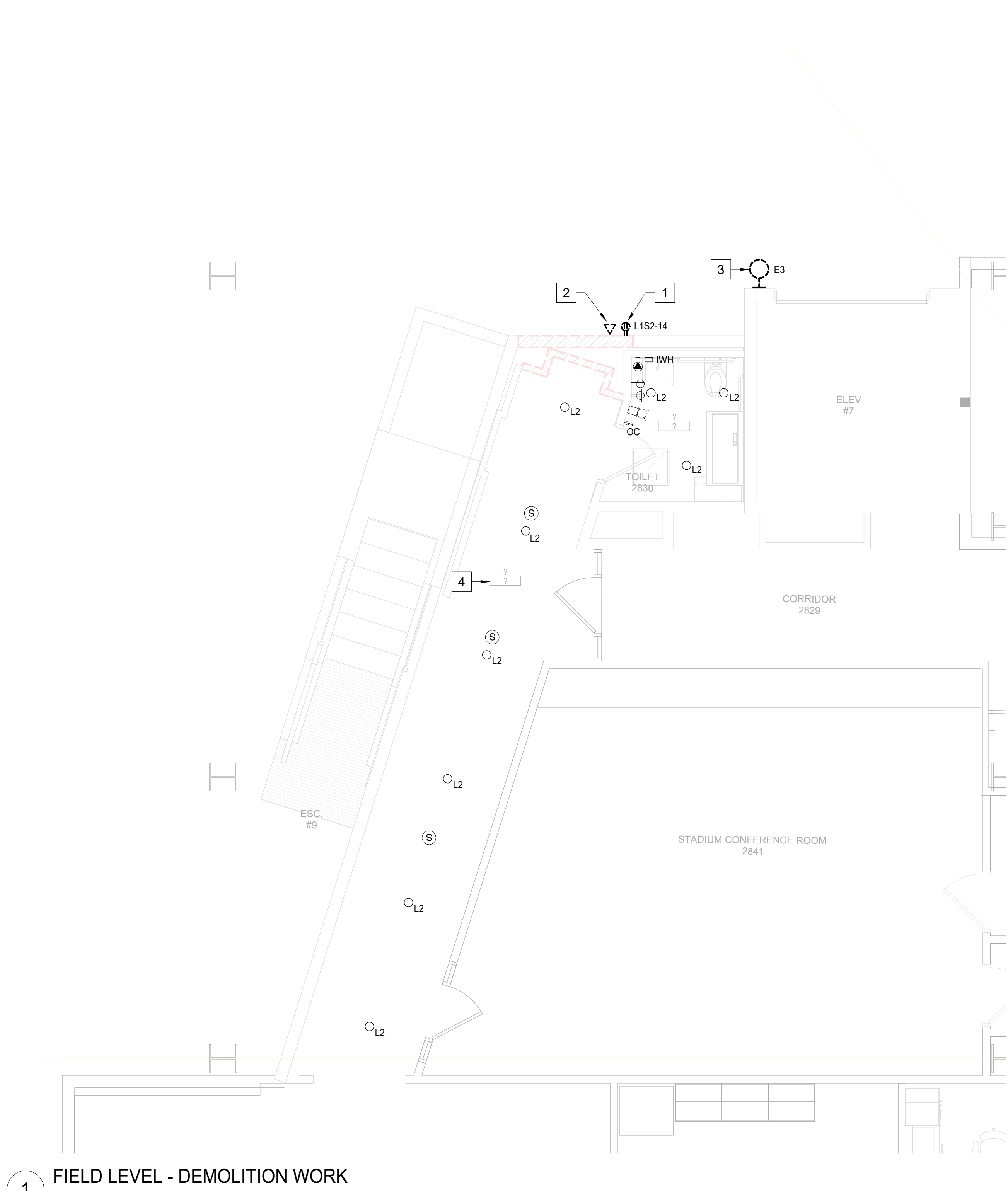
- SPECIFIC ROOM FINISH NOTES:
- PAINT NEW WALLS TO MATCH EXISTING COLOR. PAINT FULL WALL FROM CORNER TO CORNER.
 - REFER TO FINISH PLAN FOR FLOORING PATTERNS AND DIRECTION.
 - EXISTING FLOORING AND BASE TO REMAIN. TIE INTO NEW AS REQUIRED.
 - PAINT CEILINGS AND SOFFITS P-5. MATCH EXISTING COLORS. VERIFY IN FIELD.



1 FIELD LEVEL AREA B FLOOR PLAN - FINISHES



No.	Date:	Description:
1	2025-03-14	Addendum 01



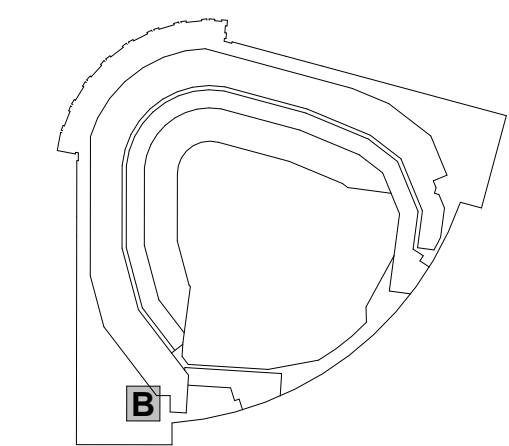
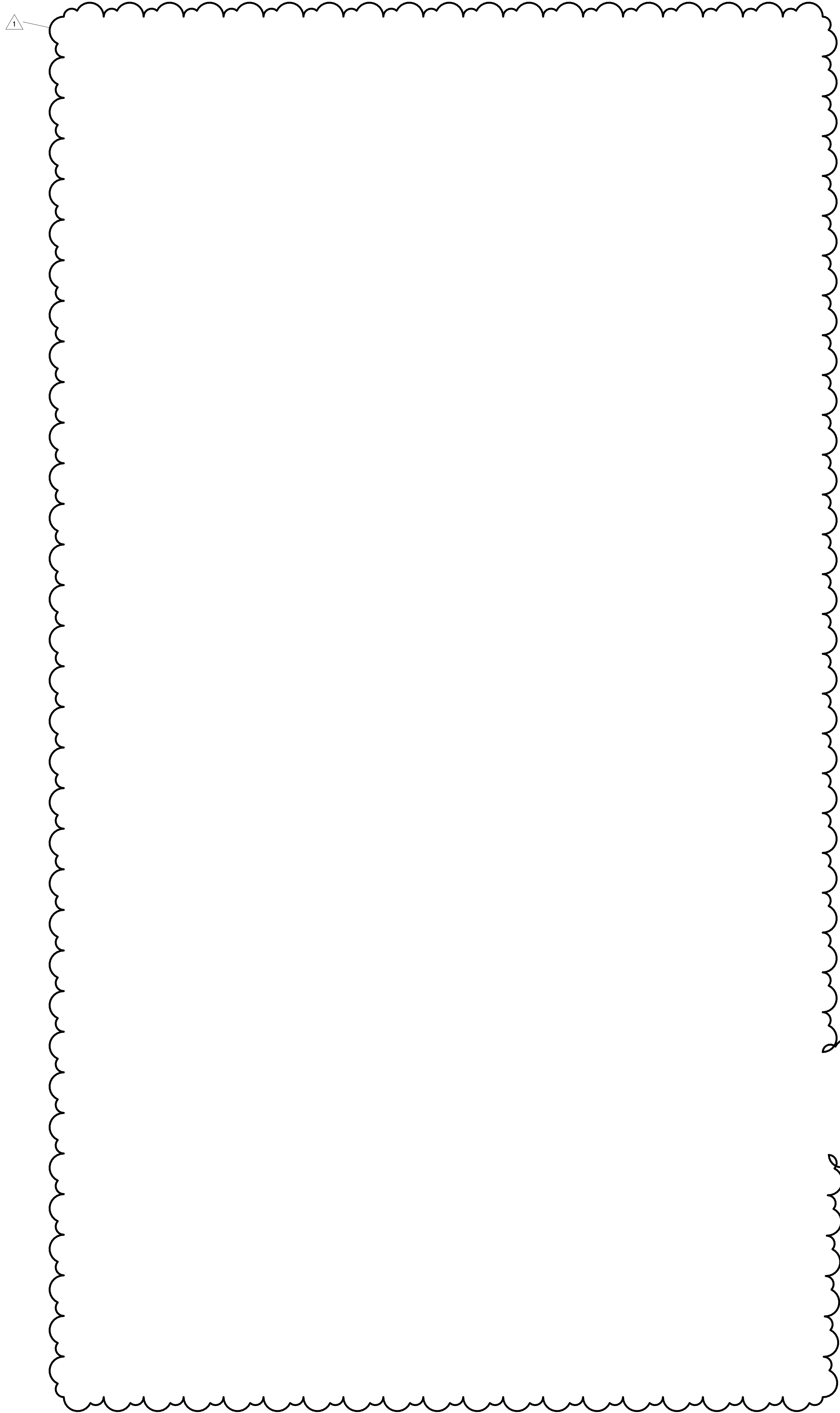
1 FIELD LEVEL - DEMOLITION WORK
SCALE: 1/4" = 1'-0"

GENERAL NOTES

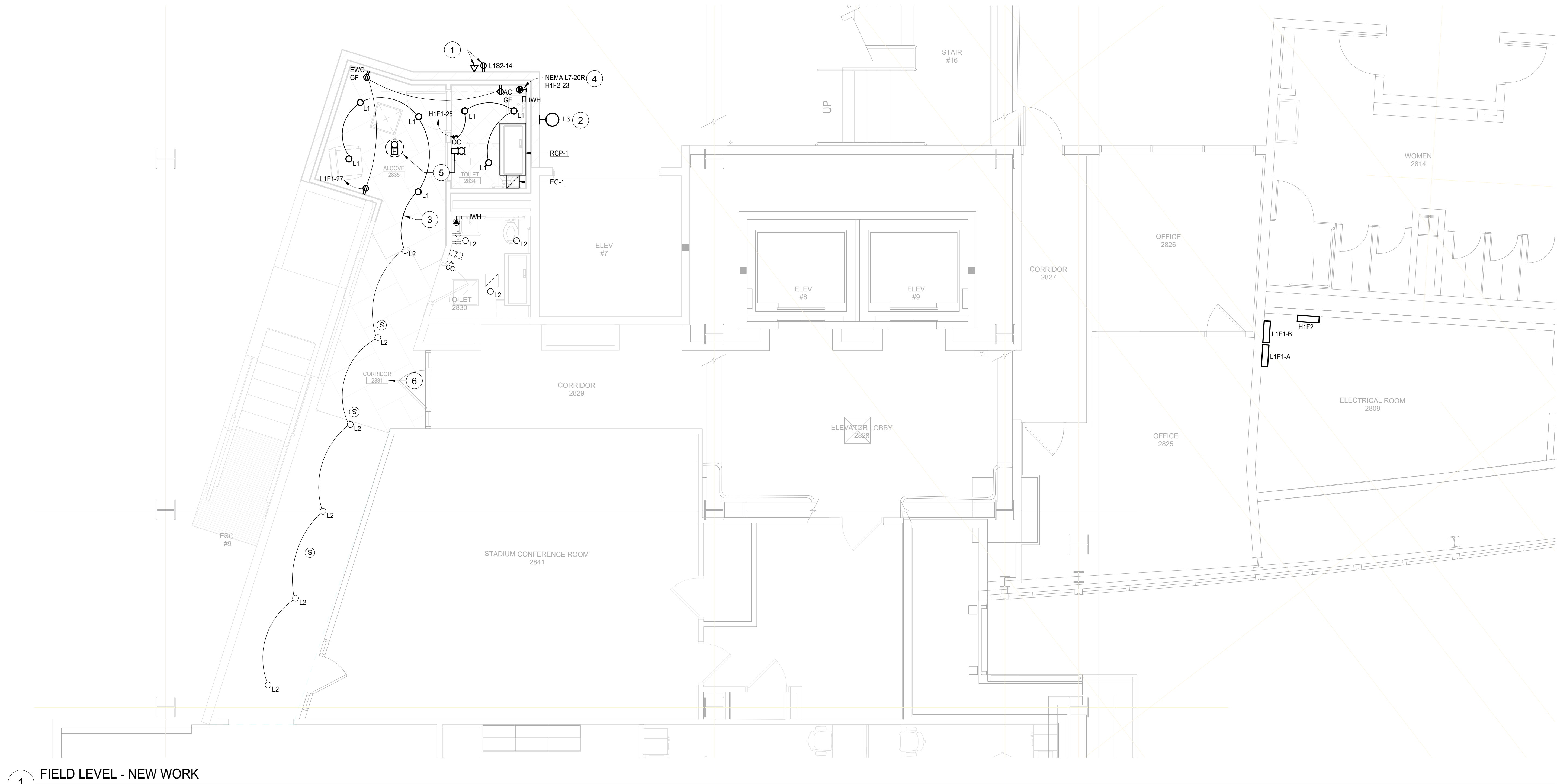
1. SURROUNDING AREA WILL BE OCCUPIED. MAINTAIN POWER TO EXISTING POWER SYSTEMS, LIGHTING FIXTURES, LIGHTING CONTROLS, DATA SYSTEMS ETC. OUTSIDE THE SCOPE OF WORK TO MINIMIZE DISRUPTION TO BUILDING OCCUPANTS.

DEMOLITION WORK NOTES

- 1 DEMOLISH RECEPTACLE. REMOVE AND SALVAGE FOR RELOCATION EXISTING CONDUIT, BACKBOX, AND STRUT SUPPORT TO ACCOMMODATE RENOVATIONS. MAINTAIN EXISTING BRANCH CIRCUIT TO EXTEND TO NEW DEVICE LOCATION. SEAL AND FIRESTOP FLOOR PENETRATIONS AFTER CONDUIT REMOVAL TO MAINTAIN FLOOR INTEGRITY.
- 2 DEMOLISH DATA RECEPTACLE. REMOVE AND SALVAGE FOR RELOCATION EXISTING CONDUIT, BACKBOX, AND STRUT SUPPORT TO ACCOMMODATE RENOVATIONS. MAINTAIN EXISTING CIRCUIT TO EXTEND TO NEW DEVICE LOCATION. SEAL AND FIRESTOP FLOOR PENETRATIONS AFTER CONDUIT REMOVAL TO MAINTAIN FLOOR INTEGRITY.
- 3 DEMOLISH AND SALVAGE EXISTING LIGHT FIXTURE TO ACCOMMODATE RENOVATIONS. LIGHT FIXTURE SHALL BE REINSTALLED ONCE ARCHITECTURAL WALLS ARE INSTALLED. MAINTAIN EXISTING BRANCH CIRCUIT AND CONTROLS TO EXTEND TO NEW LOCATION.
- 4 DISCONNECT, REMOVE AND SALVAGE EXISTING LIGHT FIXTURES, SPEAKERS, AND OTHER ELECTRICAL SYSTEM DEVICES AS NECESSARY TO ACCOMMODATE MECHANICAL SYSTEM DUCT MODIFICATIONS IN THIS CORRIDOR. PROTECT EXISTING CIRCUIT(S) THROUGHOUT CONSTRUCTION. SEE MECHANICAL SHEETS AND COORDINATE SCOPE WITH DIVISION 23 CONTRACTOR.



Scale: 1/4" = 1'-0"		
Revisions:		
No:	Date:	Description:
1	03/14/25	ADDENDUM 1



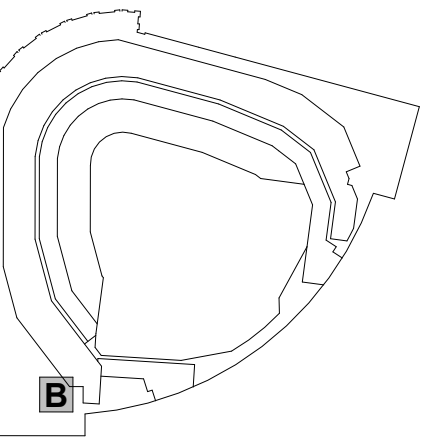
1 FIELD LEVEL - NEW WORK
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. SURROUNDING AREA WILL BE OCCUPIED. MAINTAIN POWER TO EXISTING POWER SYSTEMS, LIGHTING FIXTURES, LIGHTING CONTROLS, DATA SYSTEMS ETC. OUTSIDE THE SCOPE OF WORK TO MINIMIZE DISRUPTION TO BUILDING OCCUPANTS.
2. SEE SHEET E200 FOR LIGHTING FIXTURE SCHEDULE AND PANEL SCHEDULES.
3. PANEL L1F1 AND H1F2 ARE LOCATED IN NEARBY ELECTRICAL ROOM 2809.
4. SEE SHEET E002 FOR MINIMUM BRANCH CIRCUIT SIZING REQUIREMENTS AND E200 FOR ADDITIONAL CIRCUITING REQUIREMENTS.
5. GUETZKE INC. IS THE FIRE ALARM CONTRACTOR. CONTACT MARCUS MEINZER AT 262-844-4386 OR MARCUS.MEINZER@GUETZKEINC.COM.

NEW WORK NOTES

1. INSTALL NEW RECEPTACLE AND DATA DEVICE IN RELOCATED BACKBOX ON STRUT SUPPORT. PROVIDE NEW FLOOR PENETRATIONS. EXTEND EXISTING CONDUCTORS TO NEW DEVICE LOCATION. FIRESTOP AND SEAL ANNULAR SPACE AROUND NEW CONDUIT PENETRATIONS TO MAINTAIN FLOOR INTEGRITY.
2. INSTALL SALVAGED LIGHT FIXTURE. FIXTURE SHALL BE MOUNTED AT THE SAME HEIGHT AS OTHER NEARBY FIXTURES OF THE SAME TYPE (APPROXIMATELY 10'-0" AFF). EXTEND EXISTING BRANCH CIRCUIT AND LIGHTING CONTROLS TO REINSTALLED FIXTURE. FINAL PLACEMENT OF THE LIGHT FIXTURE SHALL ENSURE THE ELEVATOR THRESHOLD IS ILLUMINATED AT A MINIMUM OF 5 FOOT-CANDLES.
3. EXTEND EXISTING CORRIDOR 2831 LIGHTING CIRCUIT AND CONTROLS TO NEW LIGHT FIXTURES INSTALLED IN ALCOVE 2835.
4. PROVIDE NEW UNDERCOUNTER RECEPTACLE AS SHOWN FOR INSTANTATNEOUS WATER HEATER. PROVIDE 2#12, 1#12G, IN 3/4" FROM INDICATED SOURCE. INSTALL RECEPTACLE ABOVE WATER CONNECTIONS TO PREVENT ANY ACCIDENTAL DRIPPING.
5. INSTALL NEW NOTIFICATION DEVICE AND CONNECT TO EXISTING FIRE ALARM CIRCUIT IN AREA. UTILIZE EXISTING OWNER STOCK DEVICE.
6. CLEAN AND REINSTALL EXISTING LIGHT FIXTURES, SPEAKERS AND OTHER ELECTRICAL SYSTEM DEVICES ONCE DIVISION 23 DUCT MODIFICATIONS IN THIS CORRIDOR ARE COMPLETE. EXTEND EXISTING POWER AND CONTROL CIRCUITS TO REINSTALLED DEVICES. COORDINATE SCOPE WITH DIVISION 23 CONTRACTOR.



Revisions:		
No:	Date:	Description:
1	03/14/25	ADDENDUM 1

The corona of the sun is a plasma atmosphere extending into space millions of kilometers. It is visible during total eclipses as a pearly white crown surrounding the sun. Our classic looking leather design has interpreted this spectral feature through the use of stitching. Staggered stitched circles are anchored on either side by vertical lines. Corona is destined to be a winner! This can be predicted with the same degree of certainty as the next total eclipse of the sun.

	US UNITS	METRIC UNITS
Total Weight	24.0 oz PLY 16.0 oz PSY	744 g PLM 542 g PSM
Roll Width	52/54 in.	132/137 cm
Gauge	37 Mils	0.94 mm
Fabric	Osnaburg	
Tensile (Minimum)	50 x 50 lb _f	222 x 222 N
Tear (Minimum)	25 x 25	
WA Spec	WA-W-101, Type II	
Fire Testing	NFPA 101® Life Safety Code® NFPA255 (UL723, CAN S102M) Tunnel Test ¹ Class A Rating NFPA 286 Corner Burn Test ² Meets requirements for Flame Spread, Smoke Developed and Flashover	
Repeat	Vertical Horizontal Match Information	5.56 in. 5.63 in. Striaight Match, Reverse Hang 14.29 cm 14.12 cm
1 When applied to GRC Board with A-848-B adhesive		2 When applied to 5/8" Type-X gypsum board with A-848-B adhesive

Available in 18 Colorways

CN24-41 Antique Gold	CN24-58 French Roast
CN24-94 Black Umber	CN24-87 Hemlock
CN24-53 Brandy	CN24-06 Ivory
CN24-27 Camel	CN24-23 Mist
CN24-75 Canale	CN24-61 Rubelline
CN24-39 Chamois	CN24-49 Toasted Almond
CN24-42 Chocolate	CN24-44 Toffee
CN24-18 Cream	CN24-36 Tundra
CN24-70 Eclipse	CN24-30 Wheat





WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT

ADDRESS: 1 BREWERS WAY MILWAUKEE, WI 53214 EMAIL: CONTACT@WIBASEBALLDISTRICT.COM PHONE: (414) 902-4040



ADDENDUM NO. 01

Issue Date: 3/17/2025
Project Name: American Family Field – Sensory Room Addition
Project Address: 1 Brewers Way
Milwaukee, WI 53214

Architect: Zimmerman Architectural Studios
2122 W. Mount Vernon Avenue
Milwaukee, WI 53233

Owner: Wisconsin Professional Baseball Park District
1 Brewers Way
Milwaukee, WI 53214

Project Administrator: Shannon Schwingle, The Sigma Group
1300 W. Canal St.
Milwaukee, WI 53233

Zimmerman Project Number: 250012.02

This Addendum forms a part of the Contract Documents and modifies the original Contract Documents dated 02/21/2025 as noted below. Acknowledge receipt of this Addendum by inserting the number and issue date of this Addendum in the blank space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of **3** pages and **0** of attached revised sheets and **0** of revised specifications sections.



WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT

ADDRESS: 1 BREWERS WAY MILWAUKEE, WI 53214 EMAIL: CONTACT@WIBASEBALLDISTRICT.COM PHONE: (414) 902-4040



PROPOSED CHANGES / CLARIFICATIONS:

Clarifications/Bidder Questions:

Q: Will the existing masonry color be provided.

A: Yes. As follows.

1. Colored Split Faced Block: County Materials Corp., Adobe #18-070A. Obtain samples for approval.
2. Colored Smooth Faced Block: County Materials Corp., Coral Brown #18-571B. obtain samples for approval.

Q: Has the special-order masonry been scheduled for production.

A: No. All colored block is ordered per job with a 4 – 6 week delivery time.

Q: New piping will need to be dropped down from the overhead sprinkler system. This system is a dry system and will require an auxiliary drain. Should we locate these two (2) new drains inside or outside of the constructed room?

A: Drains shall be located outside the finished spaces. Piping shall not run down the new finish face or cmu. All vertical piping above the deck shall be placed as close to the back wall as possible.

Q: The plan listed ACT-1 in the Toilet room says to match existing.... What is the existing?

A: Match the existing adjacent toilet room ACT. Also see the included updated Sheet A300 and the keynotes and material schedule.

Q: Drawing M200 calls for new ¾" condensate drain to service level into an existing drain pan. Please indicate how far this drain pan is located from the shown floor penetration point on the drawing.

A: Drain pan is located directly below floor penetration point, above Service Level warehouse racking. Drain pan is 20' x 10' and currently protects warehouse racking from potential leaks from a large existing overhead storm pipe.

Q: Please advise on how ACCU-1 for the Sensory Room is to be mounted on the roof of the room.

A: Provide 8" equipment mounting supports by Thybar, or equivalent. Connect ACCU-1 supports to mounting supports.

Q: Will the as built be provided?

A: As-built documents that are available have been provided.



WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT

ADDRESS: 1 BREWERS WAY MILWAUKEE, WI 53214 EMAIL: CONTACT@WIBASEBALLDISTRICT.COM PHONE: (414) 902-4040



Specifications:

SECTION: NONE

- None.

Drawings:

Architectural:

SHEET - NONE

Plumbing:

SHEET – NONE

Fire Protection:

SHEET - NONE

Mechanical:

SHEET – NONE

Electrical:

SHEET – NONE

End of Addendum 01