

ATTACHMENT D.1.

CAP MAINTENANCE PLAN SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT – RIVER EAST

FEBRUARY 2023

PROPERTY LOCATED AT:

500 S 44TH STREET, MILWAUKEE, WI 53214, TAX # 42-20-012000

WDNR IDENTIFICATION:

WDNR ACTIVITY NAME: MENOMONEE RIVER STADIUM PROJECT

WDNR BRRTS: #02-41-001187

WDNR FID: #241615110

LEGAL DESCRIPTION: PARTS OF THE NW ¼ AND SW ¼ OF THE NORTHWEST ¼ OF SECTION 36, TOWNSHIP 7 NORTH, RANGE 21 EAST IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

- 500 S 44TH STREET, MILWAUKEE, WI 53214: LOT 12 OF ASSESSOR'S PLAT OF MILLER PARK IN THE NW ¼ AND SW ¼ OF THE NORTHWEST ¼ OF SECTION 36, ALL IN TOWNSHIP 7 NORTH RANGE 21 EAST

The property address and tax key are shown in **Figure D.2.1 – Cap Location Map**. Additional land description and parcel information is provided within the Assessor's Plat of Miller Park (**Attachment 1**).

INTRODUCTION

This Cap Maintenance Plan for the above-referenced property has been prepared in accordance with the requirements of s. NR 724.13(2), Wisconsin Administrative Code. The maintenance activities relate to the asphalt pavements, concrete pavements, and greenspace areas located across the Southeast Wisconsin Professional Baseball Park District (the "District") areas east of the Menomonee River. More site-specific information about this property may be found in:

- The case file in the Wisconsin Department of Natural Resources (WDNR) Southeast Regional Office;
- BRRTS on the Web (WDNR's internet-based data base of contaminated sites): <http://dnr.wi.gov/botw/SetUpBasicSearchForm.do>;
- WDNR RR Sites Map for further information on the nature and extent of contamination: <https://dnr.wisconsin.gov/topic/Brownfields/rrsm.html>; and
- The WDNR project manager for Milwaukee County.

DESCRIPTION OF CONTAMINATION

Reworked soil containing variable amounts of historic fill material is impacted with volatile organic compounds (VOCs, low-level), polycyclic aromatic hydrocarbons (PAHs), and select Resource Conservation and Recovery Act (RCRA) metals at concentrations greater than WDNR Chapter NR 720 groundwater pathway and/or direct contact Residual Contaminant Levels (RCLs). The impacted

reworked soil and historic fill material is located across the site underneath asphalt pavement, concrete pavement, and capped greenspace areas.

Groundwater impacts at the site include concentrations of select VOCs and PAHs greater than WDNR Chapter NR 140 Preventative Action Limits (PALs) and Enforcement Standards (ESs), as well as free-phase petroleum product (weathered diesel fuel) floating on the water table within the northcentral portion of the site. The extent of groundwater impacts and free product is defined within the site boundaries.

The soil and groundwater impacts are associated with historic fill material placed at the site during filling of the Menomonee River Valley marsh in the mid-1800s and subsequent development of the site into a railroad (western portion) and the large-scale operation of the site as a railyard, rail car repair, manufacturing, and rebuilding facility, railcar parts forging and reclamation shops, lumber yard, and wood mill (also known as the “CMC Shops”). The site was redeveloped into the current American Family Field (former Miller Park) parking lot between 1996 and 2000, which included the import of soil to raise the site to current grade.

The extents of soil and groundwater impacts are presented in **Attachment D.2.1 – Cap Location Map**.

CAP MAINTENANCE ACTIONS

Description of the Caps to be Maintained. The caps consist of the following engineered barriers that were constructed during redevelopment of the site and construction of American Family Field (formerly Miller Park as referenced in previous WDNR reports and documentation).

- Asphalt Pavement Cap – The asphalt pavement cap that covers portions of the site parking lots, walkways, drives, and entrances is constructed with 4-inch thick asphalt overlying an 8-inch thick layer of compacted aggregate stone base course material. Underlying the asphalt pavement and base course is compacted imported soil (approximately 4 to 6 feet thick) and subgrade (soil/fill material).
- Concrete Pavement Cap – The concrete pavement cap that covers portions of the site parking lots (curb and gutter), pedestrian walkways, and plaza areas is constructed with 6-inch thick concrete overlying an 8-inch thick layer of compacted aggregate stone base course material. Underlying the concrete and base course is compacted imported soil (approximately 4 to 6 feet thick) and subgrade (soil/fill material).
- Greenspace Cap – The greenspace cap that covers the site parking lot islands and medians, surrounding landscaping, and other green space areas across the site is constructed with a 12-inch thick layer of non-impacted low-permeability clay soil compacted to WisDOT construction specifications and covered with 4-inches of topsoil. Some parking lot islands/medians and greenspace areas are landscaped with plantings and trees with root balls. Immediately surrounding the root balls of large plantings and trees, imported clean soil is placed around the root ball (approximately 3x the width/diameter of the root ball) to the depth of the root ball and covered with 3-inches or more of mulch or vegetated topsoil.

The extents of the caps and additional details are provided within **Attachment D.2.1**. Photographs of the existing caps are shown in **Attachment D.3**, and the location and direction of the Cap photographs are presented in **Attachment D.2.2**.

Cap Purpose. The caps over the impacted soils/fill material, residual groundwater impacts, and petroleum free product will serve as a protective barrier to prevent risks to human health by direct contact/ingestion as well as an infiltration barrier to significantly reduce soil-to-groundwater contaminant migration and the infiltration of surface precipitation through residual petroleum free product into site groundwater that may violate Chapter NR 140, Wisconsin Administrative Code.

Based on the current and future use of the site, the caps will function as intended unless disturbed.

Annual Inspection. The caps overlying the contaminated soil, groundwater, and petroleum free product as depicted in **Attachment D.2.1** and **D.2.2** will be inspected once a year in the late fall when there is no snow or ice cover, for deterioration, cracks and other potential problems that can cause exposure to or additional infiltration into underlying soils. The inspections will be performed by the property owner or their designated representative. The inspections will be performed to evaluate damage due to settling, exposure to the weather, wear, age related degradation, and other factors. Areas where soils have become or are likely to become exposed will be documented.

A log of the inspections and any repairs will be maintained by the property owner and is attached (refer to **Attachment D.4.** "Continued Obligations Inspection and Maintenance Log", WDNR form 4400-305). The log will include recommendations for necessary repair of areas where underlying soils are exposed. Once repairs are completed, they will be documented in the inspection log. A copy of the inspection log will be kept at the site and available for submittal or inspection by WDNR representatives upon their request.

Maintenance Activities. If problems are noted during the annual inspections or at any other time during the year, repairs will be scheduled as soon as practical. Repairs can include maintenance of the concrete slab or asphalt pavement (e.g., milling and overlay, or replacement), and replacement of the gravel layer, as needed. In the event that necessary maintenance activities expose the underlying contaminated soil below described caps, the owner must inform maintenance workers of the exposure hazard so that appropriate personal protection equipment (PPE) can be utilized. The owner must also sample any soil that is excavated from the site prior to disposal to ascertain if contamination remains. The soil must be treated, stored, and disposed of by the owner in accordance with applicable local, state, and federal law. In the event that necessary maintenance activities require dewatering or management of contaminated groundwater and/or residual free product, the owner must inform maintenance workers of the exposure hazard so that appropriate PPE can be utilized. Contaminated groundwater and/or free product removed during dewatering must be managed, treated, and/or disposed of in accordance with local, state, and federal law.

In the event the cap overlying the contaminated soil and groundwater is removed or replaced, the replacement barrier must be equally impervious. Any replacement barrier will be subject to the same maintenance and inspection guidelines as outlined in this Cap Maintenance Plan unless indicated otherwise by the WDNR or its successor.

The property owner, in order to maintain the integrity of the cap, will maintain a copy of this Cap Maintenance Plan on-site and make it available to all interested parties (i.e., on-site employees, contractors, future property owners, etc.) for viewing upon request.

PROHIBITION OF ACTIVITIES AND NOTIFICATION OF WDNR PRIOR TO ACTION AFFECTING THE CAP

The following activities are prohibited on any portion of the property where the cap is required as shown on the attached map, unless prior written approval has been obtained from the WDNR: 1) removal of the existing cap; 2) replacement with another cap; 3) excavating or grading of the land surface; 4) filling on capped or paved areas; 5) plowing for agricultural cultivation; or (6) construction or placement of a building or other structure.

If removal, replacement, or other changes to a cover, or a building which is acting as a cover, are considered, the property owner shall contact the WDNR at least 45 days before taking such action to determine whether further action may be necessary to protect human health, safety, or welfare or the environment, in accordance with s. NR 727.07, Wisconsin Administrative Code.

Historic Fill Exemption. The site has been filled with impacted fill material containing limited amounts of non-native materials; therefore, in accordance with WDNR Chapter NR 506, Wisconsin Administrative Code, development at the site requires prior WDNR approval via an exemption to develop at a historic fill site.

NR 718 Contaminated Soil Management. The site has been filled with impacted fill material containing limited amounts of non-native materials; therefore, management of impacted soil excavated during maintenance related construction (e.g. utility excavations, over-excavation/undercuts of compressible soil during paving, etc.), installation of temporary structures, or new construction must be conducted in accordance with WDNR Chapter NR 718 regulations. Prior to re-using or replacing impacted material on-site, a WDNR Chapter NR 718 exemption for on-site reuse of impacted material must be obtained. Contaminated groundwater and/or free product removed during such activities must be managed, treated, and/or disposed of in accordance with applicable local, state, and federal regulations.

AMENDMENT OR WITHDRAWAL OF MAINTENANCE PLAN

This Cap Maintenance Plan can be amended or withdrawn by the property owner and its successors with the written approval of WDNR.

CONTACT INFORMATION (as of February 2023)

- Responsible Party:
Southeast Wisconsin Professional Baseball Park District
Attn: Executive Director
1 Brewers Way
Milwaukee, Wisconsin 53214

Contact: Mr. Pat Goss
Email: pgoss@wibaseballdistrict.com

Printed Name: PATRICK GOSS

Signature: 

- Environmental Consultant:
The Sigma Group, Inc.
1300 West Canal Street
Milwaukee, WI 53233

Contact: Ms. Kristin Kurzka, P.E., P.G.
Email: kkurzka@thesigmagroup.com
- WDNR Project Manager:
WDNR Southeast Region
2300 N. Dr. Martin Luther King Jr. Drive
Milwaukee, WI 53212

Contact: Mr. Paul Grittner
Email: paul.grittner@wisconsin.gov

Attachments

- Attachment D.2.1 – Cap Location Map and additional cap details
- Attachment D.2.2 – Cap Photograph Location Map
- Attachment D.3 - Cap Maintenance Plan - Photographs
- Attachment D.4 – Form 4400-305 “Continuing Obligations Inspection and Maintenance Log”
- Attachment 1
 - Ownership Status Letter (DOA, February 16, 2023)
 - Assessor’s Plat of Miler Park (2016)

SOIL AND GROUNDWATER QUALITY LEGEND

- - - EXTENT OF SOIL IMPACTS GREATER THAN NR 720 GROUNDWATER PATHWAY RCLs
- - - EXTENT OF SOIL IMPACTS GREATER THAN NR 720 DIRECT CONTACT RCLs
- - - EXTENT OF GROUNDWATER IMPACTS GREATER THAN NR 140 ENFORCEMENT STANDARDS
- - - EXTENT OF GROUNDWATER IMPACTS GREATER THAN NR 140 PREVENTATIVE ACTION LIMITS
- - - EXTENT OF RESIDUAL FREE PRODUCT (WEATHERED DIESEL FUEL, MEASURED FEBRUARY 2022)

NOTE: THE EXTENT OF SOIL IMPACTS CORRESPONDS WITH THE EXTENT OF HISTORIC FILL MATERIAL AND IMPORTED SOIL OVERBURDEN ACROSS THE SITE TO THE PROPERTY BOUNDARIES.

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LEGEND

- - - APPROXIMATE SITE BOUNDARY (RIVER EAST)
- - - EXTENT OF CAP TO BE MAINTAINED

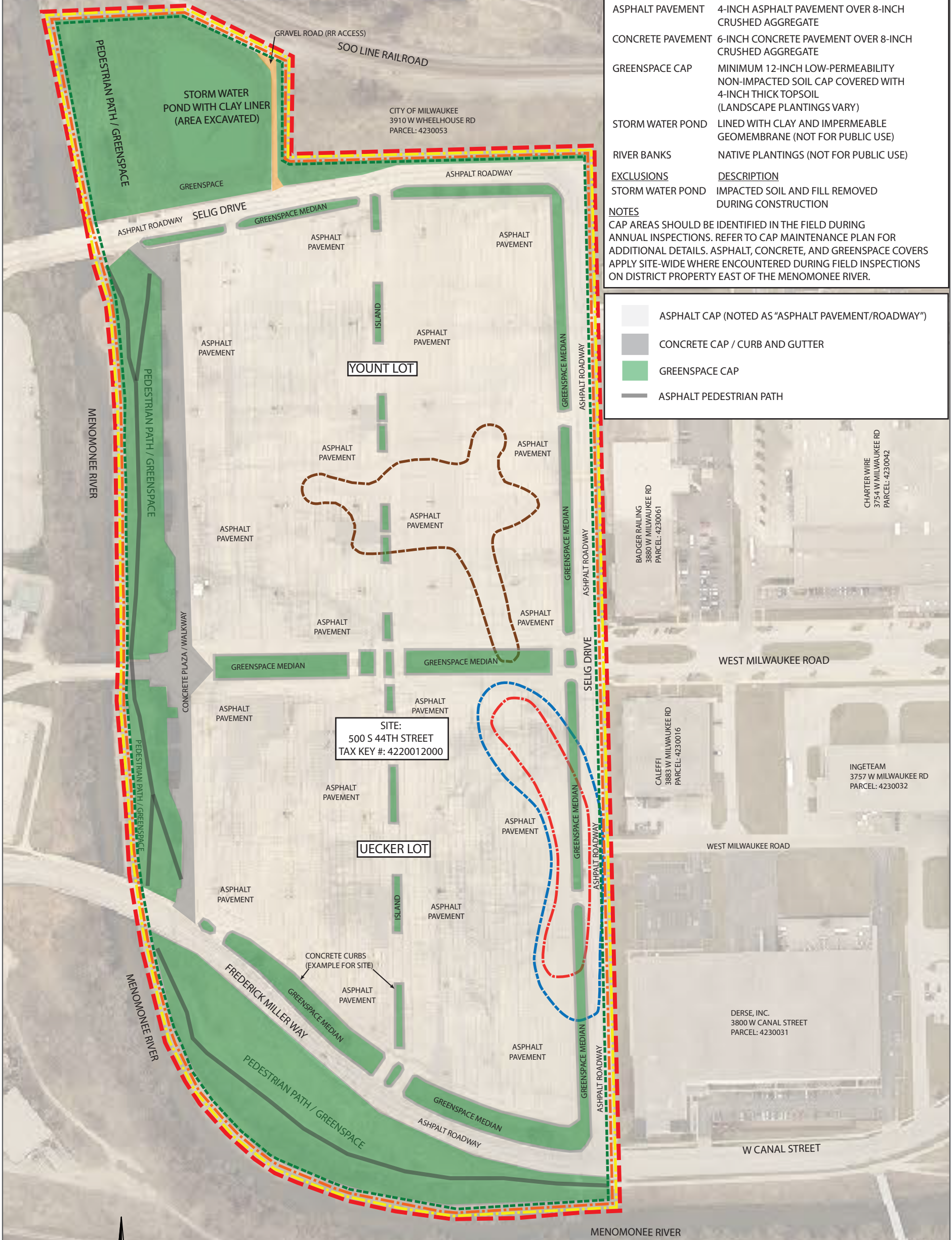
CAP MAINTENANCE PLAN KEY

COVER TYPE	DESCRIPTION (PER 1996 FINAL REMEDIATION PLAN)
ASPHALT PAVEMENT	4-INCH ASPHALT PAVEMENT OVER 8-INCH CRUSHED AGGREGATE
CONCRETE PAVEMENT	6-INCH CONCRETE PAVEMENT OVER 8-INCH CRUSHED AGGREGATE
GREENSPACE CAP	MINIMUM 12-INCH LOW-PERMEABILITY NON-IMPACTED SOIL CAP COVERED WITH 4-INCH THICK TOPSOIL (LANDSCAPE PLANTINGS VARY)
STORM WATER POND	LINED WITH CLAY AND IMPERMEABLE GEOMEMBRANE (NOT FOR PUBLIC USE)
RIVER BANKS	NATIVE PLANTINGS (NOT FOR PUBLIC USE)
EXCLUSIONS	DESCRIPTION
STORM WATER POND	IMPACTED SOIL AND FILL REMOVED DURING CONSTRUCTION

NOTES

CAP AREAS SHOULD BE IDENTIFIED IN THE FIELD DURING ANNUAL INSPECTIONS. REFER TO CAP MAINTENANCE PLAN FOR ADDITIONAL DETAILS. ASPHALT, CONCRETE, AND GREENSPACE COVERS APPLY SITE-WIDE WHERE ENCOUNTERED DURING FIELD INSPECTIONS ON DISTRICT PROPERTY EAST OF THE MEMONOMEE RIVER.

- ASPHALT CAP (NOTED AS "ASPHALT PAVEMENT/ROADWAY")
- CONCRETE CAP / CURB AND GUTTER
- GREENSPACE CAP
- ASPHALT PEDESTRIAN PATH



PROJECT: 17478 | DIRECTORY: CAD | FILENAME: 17478_Master Map_Case Closure_v11x17 | CREATED BY: CCK | DATE: 02-03-2023

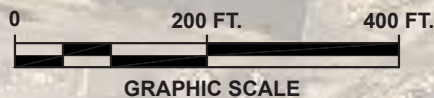


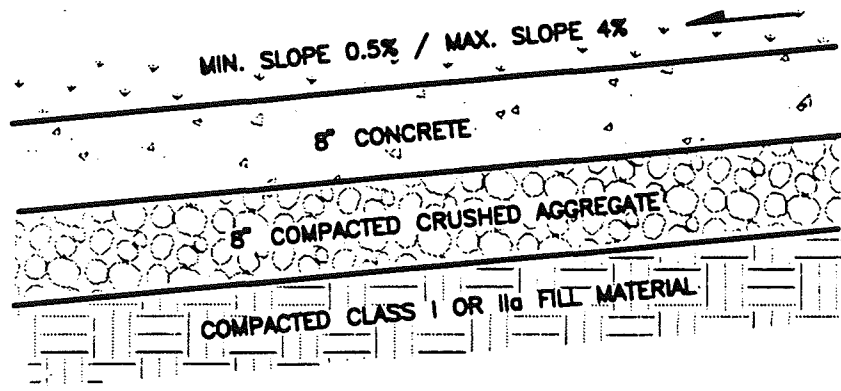
IMAGE SOURCE: AERIAL IMAGE PROVIDED BY MILWAUKEE COUNTY AERIAL MAPPING SERVICE (2020)



CAP LOCATION MAP
 SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT
 RIVER EAST
 500 S 44TH STREET
 MILWAUKEE, WISCONSIN

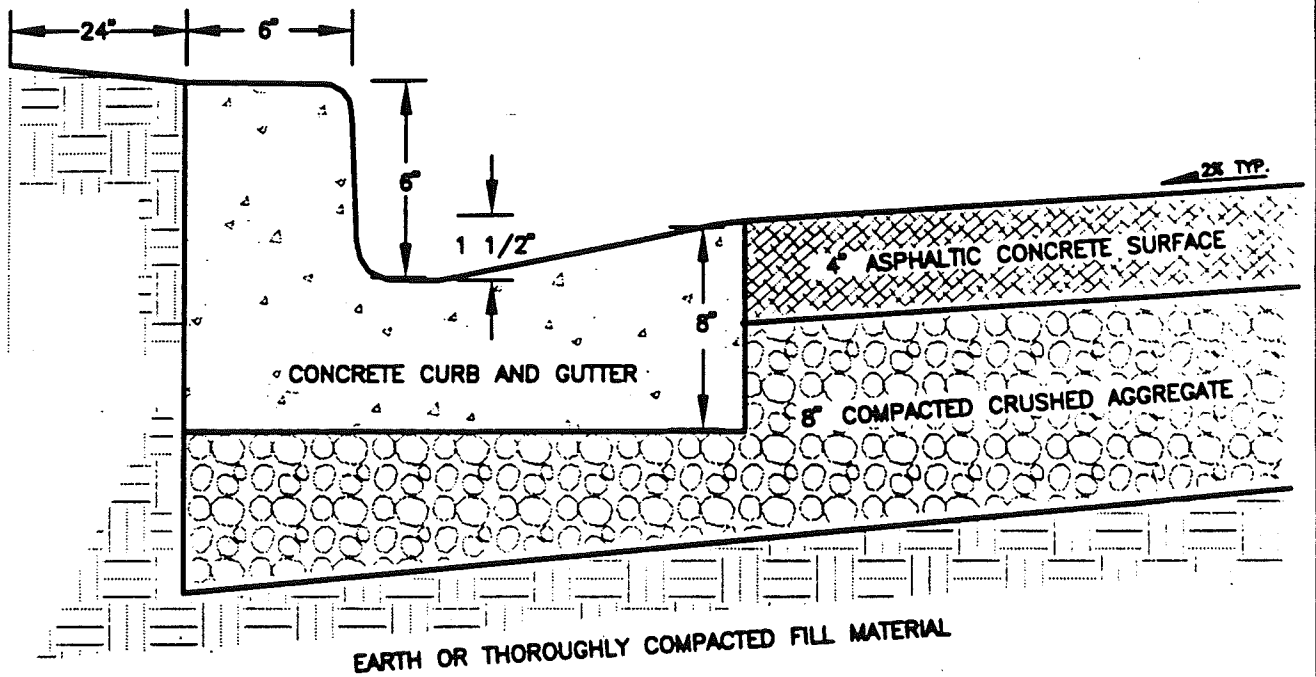
FIGURE
D.2.1

TYPICAL PLAZA SECTION DETAIL
(PRELIMINARY AND CONCEPTUAL ONLY)



PLOT DATA
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Operator Name: AKS
Scale: 1=1
Dwg Size: 8X11
Plot Date:
Plot Time:
Attached Xrefs:

TYPICAL STREET SECTION DETAIL
(PRELIMINARY AND CONCEPTUAL ONLY)

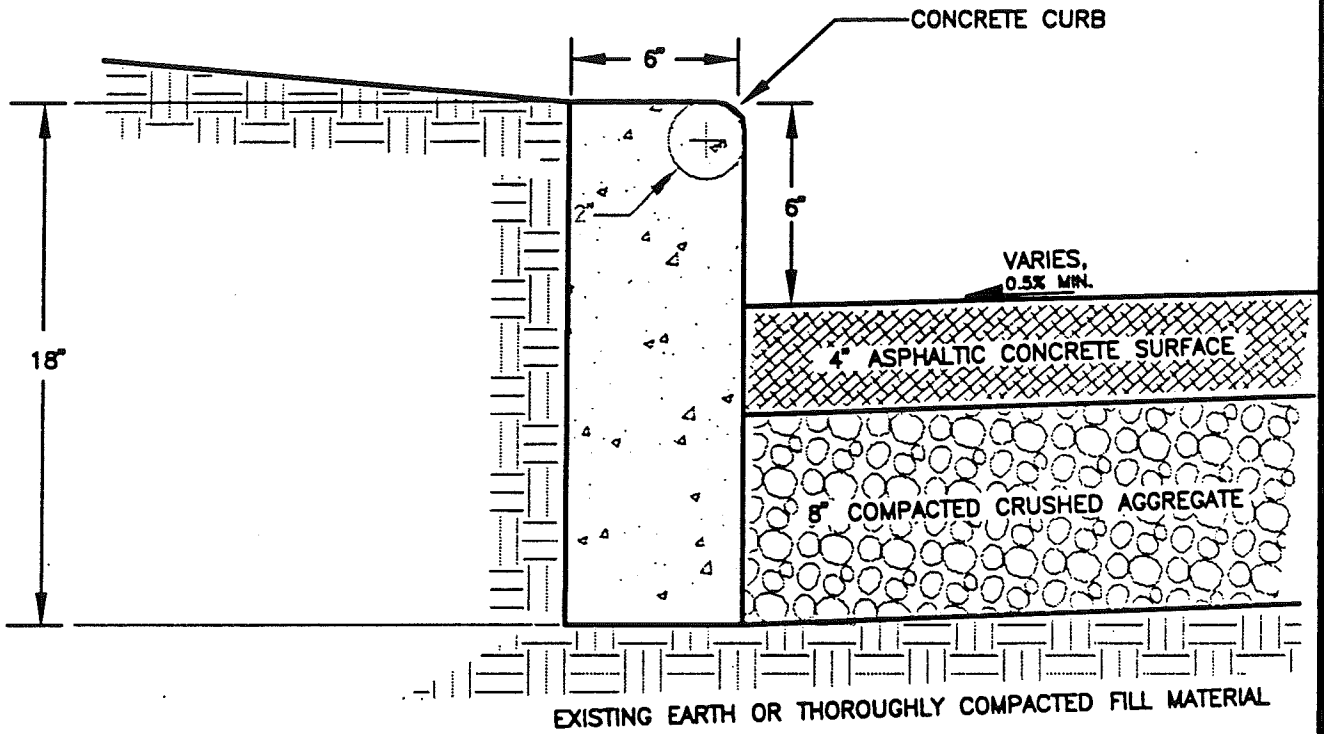


8X11

Dwg Size:
Plot Date:
Plot Time:
Attached Xref's:

PLOT DATA
Drawing Name: J:\10563\07\0706.DWG
Operator Name: AKS
Scale: 1=1

TYPICAL PARKING SECTION DETAIL
(PRELIMINARY AND CONCEPTUAL ONLY)



PLOT DATA
Drawing Name: J:\10583\07\0707.DWG
Operator Name: AKS
Scale: 1=1
Dwg Size: 8X11
Plot Date:
Plot Time:
Attached Xref's:

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 1: Yount Lot: Greenspace cap along parking lot median: 12-inches of low permeability non-impacted soil covered with 4-inches of vegetated (grass as shown) topsoil. Asphalt capped Selig Drive shown on left side of photo. Asphalt capped Yount Lot shown on ride side of photo.
Photo taken facing south on October 4, 2022.

	CAP PHOTOGRAPHS	PHOTO
	SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN	Page 1

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 2: Yount Lot: Asphalt cap over Yount Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course. Photo depicts current conditions for comparison during future inspections.
Photo taken facing west on October 4, 2022.

	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 2</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 3: Yount Lot: Asphalt cap over Yount Lot (right side of photo): 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course. Greenspace cap over parking lot median: 12-inches of low-permeability non-impacted soil covered with 4-inches of vegetated topsoil. Concrete curb and gutter along median perimeter and edge of asphalt pavement. Photo taken facing south on October 4, 2022.

 <p>THE SIGMA GROUP Single Source. Sound Solutions.</p>	CAP PHOTOGRAPHS	PHOTO
	SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN	Page 3

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 4: Yount Lot: Asphalt cap over Yount Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing west on October 4, 2022.

	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 4</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 5: Uecker Lot: Asphalt cap over Uecker Lot (right side of photo): 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course. Greenspace cap over parking lot median: 12-inches of low-permeability non-impacted soil covered with 4-inches of vegetated topsoil. Concrete curb and gutter along median perimeter and edge of asphalt pavement. Photo taken facing south on October 4, 2022.

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 6: Uecker Lot: Asphalt cap over Uecker Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing west on October 4, 2022.

	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 6</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 7: Uecker Lot: Asphalt cap over Uecker Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing west on October 4, 2022.

	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 7</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 8: Uecker Lot: Asphalt cap over Uecker Lot (right side of photo): 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course. Greenspace cap over parking lot median along Frederick Miller Way on south side of Uecker Lot: 12-inches of low-permeability non-impacted soil covered with 4-inches of vegetated topsoil. Concrete curb and gutter along median perimeter and edge of asphalt pavement. Photo taken facing west-northwest on October 4, 2022.

 <p>THE SIGMA GROUP Single Source. Sound Solutions.</p>	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 8</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 9: Uecker Lot: Asphalt cap over Uecker Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing northwest on October 4, 2022.

	CAP PHOTOGRAPHS	PHOTO
	SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN	Page 9

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 10: Uecker Lot: Asphalt cap over Uecker Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing north on October 4, 2022.

 <p>Single Source. Sound Solutions. GROUP</p>	<p>CAP PHOTOGRAPHS</p> <p>SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p>PHOTO</p>
		<p>Page 10</p>

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 11: Uecker Lot: Greenspace cap over Uecker Lot island: 12-inches low permeability soil covered with 4-inches of vegetated topsoil.
Photo taken facing north on October 4, 2022.

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	SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN	Page 11

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 12: Uecker Lot: Asphalt cap over Uecker Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing north on October 4, 2022.

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 13: South of Uecker Lot: Greenspace cap and native plantings overgrowth south of Uecker Lot and Frederick Miller Way.
Photo taken facing southeast on October 4, 2022.

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 14: South of Uecker Lot: Greenspace cap and native plantings overgrowth south of Uecker Lot and Frederick Miller Way.
Photo taken facing south on October 4, 2022.

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 15: Uecker Lot: Concrete paved plaza and pedestrian path along west side of Uecker Lot (shown on left side of photo): 6-inch concrete pavement overlying 8-inches crushed aggregate. Asphalt paved Uecker Lot (shown on right side of photo): 4-inch asphalt pavement overlying 8-inches crushed aggregate.
Photo taken facing north on October 4, 2022.

 <p>THE SIGMA GROUP Single Source. Sound Solutions.</p>	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 15</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 16: Uecker Lot: Concrete paved plaza and pedestrian path along west side of Uecker Lot (shown on left side of photo): 6-inch concrete pavement overlying 8-inches crushed aggregate. Asphalt paved Uecker Lot (shown on right side of photo): 4-inch asphalt pavement overlying 8-inches crushed aggregate.
Photo taken facing north on October 4, 2022.

 <p>THE SIGMA GROUP Single Source. Sound Solutions.</p>	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	PHOTO
		Page 16

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 17: Uecker Lot: Asphalt cap over Uecker Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing east on October 4, 2022.

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 18: Uecker/Yount Lot: Concrete paved plaza and pedestrian path along west side of Uecker and Yount Lots: 6-inch concrete pavement overlying 8-inches crushed aggregate.
Photo taken facing west on October 4, 2022.

 <p>THE SIGMA GROUP Single Source. Sound Solutions.</p>	<p>CAP PHOTOGRAPHS</p> <p>SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p>PHOTO</p>
		<p>Page 18</p>

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 19: Uecker/Yount Lot: Greenspace cap parking lot island/median between Yount and Uecker Lots on west side of site: 12-inches of low permeability non-impacted soil covered with 4-inches of vegetated topsoil (grass) as well as various landscape plantings.

Photo taken facing east on October 4, 2022.

 <p>THE SIGMA GROUP Single Source. Sound Solutions.</p>	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 19</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 20: Yount Lot: Asphalt cap over Yount Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing east on October 4, 2022.

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 21: Yount Lot: Asphalt cap over Yount Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing east on October 4, 2022.

	CAP PHOTOGRAPHS	PHOTO
	SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN	Page 21

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 22: Yount Lot: Greenspace cap over parking lot median on north side of Yount Lot, along the south side of Selig Drive. Photo taken facing west on February 8, 2022.

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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 23: Yount Lot: Storm water pond with clay liner and geomembrane liner, north of Yount Lot and Selig Drive. Landscaping around the pond consists of vegetated topsoil with native plantings. Photo taken facing north on October 4, 2022.

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 24: Yount Lot: Storm water pond with clay liner and geomembrane liner, north of Yount Lot and Selig Drive. Landscaping around the pond consists of vegetated topsoil with native plantings. Photo taken facing north on October 4, 2022.

CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 25: Yount Lot: Asphalt cap over Selig Drive north of Yount Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing east on October 4, 2022.

 <p>THE SIGMA GROUP <i>Single Source. Sound Solutions.</i></p>	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 25</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 26: Yount Lot: Asphalt cap over Yount Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing east on October 4, 2022.

	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 26</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 27: Yount Lot: Asphalt cap over Yount Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing south on October 4, 2022.

	<p style="text-align: center;">CAP PHOTOGRAPHS</p> <p style="text-align: center;">SOUTHEAST WISCONSIN PROFESSIONAL BASEBALL PARK DISTRICT RIVER EAST—BRRTS #02-41-001187 & #02-41-001189 MILWAUKEE, WISCONSIN</p>	<p style="text-align: center;">PHOTO</p> <hr/> <p style="text-align: center;">Page 27</p>
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CAP MAINTENANCE PLAN - PHOTOGRAPHS



Photo 28: Yount Lot: Asphalt cap over Yount Lot: 4-inch asphalt pavement overlying 8-inches of crushed aggregate base course.
Photo taken facing north on October 4, 2022.